

RR-2A and RR-2B

Districts Schedule

1 INTENT AND OVERVIEW

1.1 Intent

The intent of this schedule is to permit apartments where all dwelling units are secured as residential rental tenure as follows:

- (a) in the RR-2A district, up to 4 storeys; and
- (b) in the RR-2B district, up to 6 storeys, or up to 8 storeys if:
 - (i) a minimum of 20% of the residential floor area is secured as below-market rental dwelling units and the site is in a transit-oriented area, or
 - (ii) 100% of the residential floor area is developed as social housing.

On sites of sufficient depth, 3-storey townhouses may be permitted in combination with an apartment if townhouses are located at the rear of the site.

For the purposes of this schedule, below-market rental dwelling units has the meaning set out in [Schedule J: Affordable Housing Schedule](#).

Without limitation, applicable Council policies and guidelines for consideration include the [Residential Rental Districts Schedules Design Guidelines](#).

1.2 Overview

The table below provides an overview of outright and conditional approval uses in the RR-2A and RR-2B districts, categorized by the minimum site area required, where applicable. Applicable density, form and placement regulations in section 3 of this schedule are cross-referenced in the third column.

Minimum Site Area	Use	Density, Form and Placement Regulations
613 m ²	Apartment	3.1
	Apartment in combination with Townhouse	3.1

2 USE REGULATIONS

2.1 Outright and Conditional Approval Uses

All outright and conditional approval uses are subject to all other provisions of this by-law, including [Section 2](#), [Section 10](#) and [Section 11](#), and compliance with the regulations of this schedule including section [2.2](#).

The uses identified in the table below as outright approval uses are permitted in these districts and will be issued a permit.

The uses identified in the table below as conditional approval uses may be approved in these districts by the Director of Planning or Development Permit Board, with or without conditions, if the Director of Planning or Development Permit Board considers:

- (a) the intent of this schedule and all applicable Council policies and guidelines; and
- (b) the submission of any advisory group, property owner or tenant.

Uses are listed under their general land use category. Applicable use-specific regulations in section [2.2](#) of this schedule are cross-referenced in the third column. Cross-references to applicable use-specific regulations are provided for information purposes only and do not form part of this by-law.

Use	Approval	Use-Specific Regulations
Dwelling Uses		
Apartment	Conditional	2.2.1 , 2.2.2
Townhouse	Conditional	2.2.1 , 2.2.2 , 2.2.3
Retail Uses		
Public Bike Share	Conditional	
Shared E-Scooter System	Conditional	
uncategorized		
Accessory Buildings, customarily ancillary to any use listed in this section 2.1	Conditional	2.2.4
Accessory Uses, customarily ancillary to any use listed in this section 2.1	Conditional	

2.2 Use-Specific Regulations

2.2.1 At least 35% of the dwelling units must have 2 or more bedrooms.

- 2.2.2 The Director of Planning may permit more than 1 principal building on a site if the Director of Planning considers the intent of this schedule and all applicable Council policies and guidelines.
- 2.2.3 Townhouse is only permitted in combination with apartment and must be located at the rear of the site.
- 2.2.4 Accessory buildings customarily ancillary to any use listed in section [2.1](#) of this schedule may be permitted if:
- (a) no accessory building exceeds 3.7 m in building height; and
 - (b) all accessory buildings are located at least 0.6 m from the ultimate rear property line.

3 DENSITY, FORM AND PLACEMENT REGULATIONS

This section contains density, form and placement regulations organized by use.

3.1 All Uses

All uses in these districts are subject to the following regulations.

3.1.1 Density and Floor Area

3.1.1.1 Developments requiring below-market rental dwelling units or social housing are subject to [Schedule J: Affordable Housing Schedule](#).

3.1.1.2 All dwelling units must be secured as residential rental tenure.

3.1.1.3 In the RR-2A district, the maximum floor space ratio is set out in the following table:

	Maximum Floor Space Ratio by Minimum Site Area		
	1,470 m ²	920 m ²	613 m ²
(a) on a site that does not exceed 33.5 m in depth	2.00	2.00	2.00
(b) on a corner site with a minimum site frontage of 40.2 m	2.00	1.75	1.75
(c) all other sites	1.75	1.75	1.75

3.1.1.4 In the RR-2B district, the maximum floor space ratio is set out in the following table:

	Maximum Floor Space Ratio by Minimum Site Area		
	1,470 m ²	920 m ²	613 m ²
(a) on a site that does not exceed 33.5 m in depth	2.70	2.70	2.40
(b) on a corner site with a minimum site frontage of 40.2 m	2.70	2.40	2.20

	Maximum Floor Space Ratio by Minimum Site Area		
(c) all other sites	2.40	2.40	2.20

3.1.1.5 Despite sections **3.1.1.4(a)** and **3.1.1.4(b)** above, the maximum floor space ratio is 3.00 if:

(a) the site:

- (i) does not exceed 33.5 m in depth and has a minimum site area of 920 m², or
- (ii) is a corner site with a minimum site frontage of 40.2 m and has a minimum site area of 1,470 m²; and

(b) either:

- (i) a minimum of 20% of the residential floor area is secured as below-market rental dwelling units and the site is in a transit-oriented area, or
- (ii) 100% of the residential floor area is developed as social housing.

3.1.1.6 Despite section **3.1.1.4(c)** above, the maximum floor space ratio is 2.70 if the site has a minimum site area of 920 m² and 100% of the residential floor area is developed as social housing.

3.1.2 Building Form and Placement

Regulations	RR-2A	RR-2B
3.1.2.1 Minimum site area	613 m ²	613 m ²
3.1.2.2 Maximum building height for:		
(a) apartment	13.7 m and 4 storeys	19.8 m and 6 storeys
(b) townhouse	10.7 m and 3 storeys	
3.1.2.3 Minimum front yard depth	3.7 m	
3.1.2.4 Minimum side yard width	1.8 m	2.4 m
3.1.2.5 Minimum rear yard depth for:		
(a) apartment	7.6 m	

Regulations	RR-2A	RR-2B
(b) apartment in combination with townhouse		3.1 m
3.1.2.6 Minimum setback of all exterior walls of the sixth storey from the exterior face of the wall of the storey below, for apartment		2.4 m
3.1.2.7 Maximum building depth for apartment		22.8 m
3.1.2.8 Maximum building width		45.7 m
3.1.2.9 Minimum separation between:		
(a) apartment buildings located on a site frontage		7.3 m
(b) apartment and townhouse buildings		7.3 m
(c) townhouse buildings		3.1 m

Building Height

3.1.2.10 Despite section 3.1.2.2(a) above, the maximum building height is 27.5 m in the RR-2B district for buildings where:

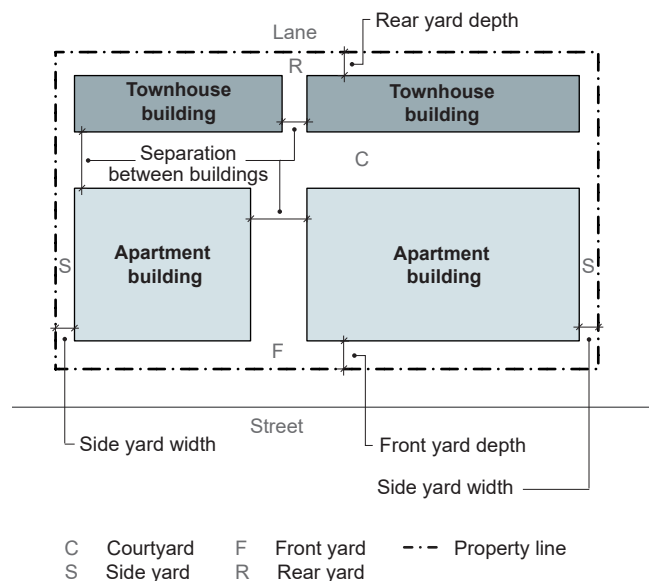
- (a) a minimum of 20% of the residential floor area is secured as below-market rental dwelling units and the site is in a transit-oriented area; or
- (b) 100% of the residential floor area is developed as social housing.

3.1.2.11 Despite the maximum building height in section 3.1.2.2(b) above, the third storey of a townhouse must be a partial storey not exceeding 60% of the storey immediately below.

3.1.2.12 The Director of Planning may:

- (a) vary the requirement for a partial storey in section 3.1.2.11 above; and
- (b) increase the maximum building height, if the Director of Planning considers the intent of this schedule and all applicable Council policies and guidelines.

Diagram: Building placement - courtyard configuration



Side Yard

- 3.1.2.13 Despite the minimum side yard width in section 3.1.2.4 above, in the case of a corner site, the front yard regulations in section 3.1.2.3 above apply to the exterior side yard.
- 3.1.2.14 The Director of Planning may decrease the minimum side yard width if the Director of Planning considers the intent of this schedule and all applicable Council policies and guidelines.

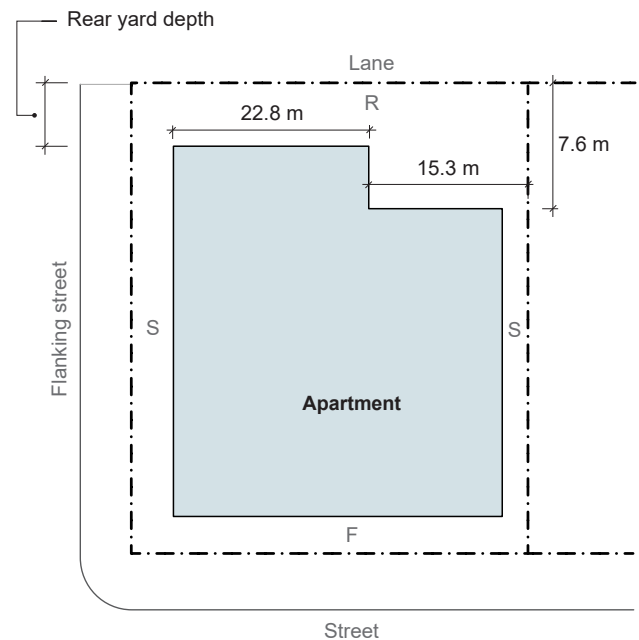
Rear Yard

3.1.2.15 Despite the minimum rear yard depth in section 3.1.2.5(a) above, in the case of an apartment on a corner site, the minimum depth of the rear yard may be decreased to 4.6 m, if the portion of the building for which the rear yard is decreased:

- (a) is located a minimum distance of 15.3 m from an adjoining site with or without the intervention of a lane, measured from the side property line; and
- (b) does not exceed 22.8 m in width.

3.1.2.16 The Director of Planning may decrease the minimum rear yard depth if the Director of Planning considers the intent of this schedule and all applicable Council policies and guidelines.

Diagram: Decreased minimum rear yard depth for apartment on a corner site



R Rear yard F Front yard
 S Side yard - - - Property line

Setback

- 3.1.2.17 The minimum setback of all exterior walls in section 3.1.2.6 above is not required if dwelling units are secured as social housing.
- 3.1.2.18 The Director of Planning may decrease the minimum setback of all exterior walls if the Director of Planning considers the intent of this schedule and all applicable Council policies and guidelines.

Building Separation

- 3.1.2.19 Minimum separation between buildings in section 3.1.2.9(a) above must be measured from the closest portion of the exterior side wall of any other apartment on the site.
- 3.1.2.20 Minimum separation between buildings in sections 3.1.2.9(b) and 3.1.2.9(c) above must be measured from the closest portion of the exterior walls of the buildings.

3.1.2.21 The Director of Planning may decrease the minimum separation between buildings if the Director of Planning considers the intent of this schedule and all applicable Council policies and guidelines.

Discretion to Vary Other Regulations

3.1.2.22 If the Director of Planning considers the intent of this schedule and all applicable Council policies and guidelines, the Director of Planning may vary:

- (a) the minimum site area;
- (b) the minimum front yard depth;
- (c) the maximum building depth; and
- (d) the maximum building width.

4 GENERAL REGULATIONS

All uses in these districts are subject to the following regulations.

4.1 Computation of Floor Area

4.1.1 Computation of floor area must include:

- (a) all floors, including earthen floor, measured to the extreme outer limits of the building including accessory buildings; and
- (b) stairways, fire escapes, elevator shafts, and other features that the Director of Planning considers similar to the foregoing, measured by their gross cross-sectional areas and included in the measurements for each floor at which they are located.

4.1.2 Computation of floor area must exclude:

- (a) balconies, decks, exterior passageways for townhouse access, and any other appurtenances that the Director of Planning considers similar to the foregoing, provided that the total area of these exclusions does not exceed 12% of the permitted floor area;
- (b) patios and roof decks, if the Director of Planning considers the impact on privacy and overlook;
- (c) off-street parking and loading located at or below base surface, provided that the maximum exclusion for a parking space does not exceed 7.3 m in length;
- (d) bicycle storage located in a principal building or an accessory building;
- (e) heating and mechanical equipment, or uses that the Director of Planning considers similar to the foregoing;
- (f) areas of undeveloped floors that are located:
 - (i) above the highest storey or partial storey and to which there is no permanent means of access other than a hatch, or
 - (ii) adjacent to a storey or partial storey with a ceiling height of less than 1.2 m;
- (g) floors located at or below finished grade with a ceiling height of less than 1.2 m;
- (h) entries, porches and verandahs, if:
 - (i) the side facing the street, rear property line or courtyard is open or protected by guards that do not exceed the required minimum height,
 - (ii) the total excluded area, when combined with the balcony and deck exclusions under section [4.1.2\(a\)](#) above, does not exceed 16% of the permitted floor area, and
 - (iii) the ceiling height, excluding roof structures, of the total area being excluded does not exceed 3.1 m measured from the entry, porch or verandah floor;

- (i) all residential storage area above or below base surface, except that if residential storage area above base surface exceeds 3.7 m² per dwelling unit, there will be no exclusion for any of the residential storage area above base surface for that unit; and
- (j) amenity areas, including recreation facilities and meeting rooms, accessory to a dwelling use, to a maximum area of 10% of the total permitted floor area.

4.2 Yards: Projections

- 4.2.1 No portion of underground parking other than an access ramp is permitted to project into a front or exterior side yard, except that the Director of Planning may vary this requirement if the Director of Planning considers the intent of this schedule and all applicable Council policies and guidelines.
- 4.2.2 Entries, porches and verandahs complying with section 4.1.2(h) of this schedule may project up to 1.8 m into the required rear yard.

4.3 Building Depth: Measurement

- 4.3.1 Building depth means the distance from the front exterior wall measured in a straight line to a point directly opposite on the rear exterior wall, except that balconies and entries, porches and verandahs that comply with section 10.8 of this by-law and section 4.2.2 of this schedule may be excluded from the measurement of building depth.

4.4 Access to Natural Light

- 4.4.1 Each habitable room must have at least 1 window on an exterior wall of a building.
- 4.4.2 For the purposes of section 4.4.1 above, habitable room means any room except a bathroom or kitchen.

4.5 External Design

- 4.5.1 The following features are permitted in the courtyard:
 - (a) the features permitted in section 10.8 of this by-law, except balconies; and
 - (b) entries, porches and verandahs complying with section 4.1.2(h) of this schedule.
- 4.5.2 The minimum width of a dwelling unit in a townhouse is 4.2 m, measured between finished wall surfaces.
- 4.5.3 The Director of Planning may vary the requirements of this section 4.5 if the Director of Planning considers the intent of this schedule and all applicable Council policies and guidelines.