

RR-2A, RR-2B and RR-2C

Districts Schedule

1 Intent

The intent of this schedule is to permit apartments where all dwelling units are secured as residential rental tenure as follows:

- in the RR-2A district, up to 4 storeys;
- in the RR-2B district, up to 5 storeys; and
- in the RR-2C district, up to 6 storeys if a minimum of 20% of the floor area is secured as below-market rental dwelling units.

On sites of sufficient depth, 3-storey townhouses may be permitted in combination with an apartment if townhouses are located at the rear of the site.

Without limitation, applicable Council policies and guidelines for consideration include the Rental District Schedules Design Guidelines.

The table below provides an overview of permitted uses in the RR-2A, RR-2B and RR-2C districts, categorized by the minimum site area required.

Minimum Site Area	Use
613 m ²	Apartment, up to 4-storeys in the RR-2A district
	Apartment, up to 5-storeys in the RR-2B district
	Apartment in combination with Townhouse in the RR-2A and RR-2B districts
920 m ²	Apartment, up to 6-storeys in the RR-2C district
	Apartment in combination with Townhouse in the RR-2C district

2 Outright Approval Uses

2.1 Subject to all other provisions of this by-law, and to compliance with section 2.3 and the regulations of this schedule, the uses noted in section 2.2 are permitted in this District and shall be issued a permit.

2.2 **Uses** – None.

2.3 **Conditions of Use** – Not applicable.

3 Conditional Approval Uses

3.1 Subject to all other provisions of this by-law, compliance with section 3.3 and the provisions and regulations of this schedule, the Director of Planning or the Development Permit Board may approve any of the uses listed in section 3.2 of this schedule, with or without conditions, if the Director of Planning or the Development Permit Board first considers:

- (a) the intent of this schedule and all applicable Council policies and guidelines; and
- (b) the submission of any advisory group, property owner or tenant.

3.2 Uses

- 3.2.A
- Accessory Buildings customarily ancillary to any of the uses listed in this schedule, if:
 - (a) no accessory building exceeds 3.7 m in building height; and
 - (b) all accessory buildings are located at least 0.6 m from the ultimate rear property line.

3.2.DW Dwelling

- Apartment. For the purposes of this schedule, “apartment” means a building containing 4 or more principal dwelling units, all of which share at least one common entrance from the exterior of the building.
- Townhouse. For the purpose of this schedule, “townhouse” means a building containing 4 or more principal dwelling units, where each unit has its own entrance from the exterior of the building.

3.3 Conditions of Use

- 3.3.1 All dwelling units must be secured as residential rental tenure.
- 3.3.2 At least 35% of the dwelling units must have 2 or more bedrooms.
- 3.3.3 For the purposes of this schedule, “below market rental dwelling units” means dwelling units where:
- (a) the maximum starting rents and rents at unit turnover are at least 10% less than the average rents for all private rental apartment units, city-wide as published by the Canada Mortgage and Housing Corporation in the Rental Market Report in the previous calendar year; and
 - (b) the starting rent and turnover rent requirements are secured through a housing agreement.
- 3.3.4 In the RR-2C district, a minimum of 20% of the floor area must be secured as below-market rental dwelling units.
- 3.3.5 Townhouse is only permitted in combination with apartment and must be located at the rear of the site.

4 Regulations

All uses approved under sections 2 and 3 of this schedule are subject to the following regulations.

4.1 Floor Area and Density

4.1.1 The maximum floor space ratio is:

- (a) 1.75 in the RR-2A district;
- (b) 2.2 in the RR-2B district; and
- (c) 2.4 in the RR-2C district.

4.1.2 Despite section 4.1.1 above, the Director of Planning may increase the permitted floor space ratio to a maximum of 2.0 in the RR-2A district, 2.4 in the RR-2B district, and 2.7 in the RR-2C district, if:

- (a) the site depth does not exceed 33.5 m; or
- (b) is a corner site, and:
 - (i) adjoins a lane at the rear,
 - (ii) has a minimum site frontage of 40.2 m, and
 - (iii) has a minimum site area of 1,470 m²;

and if the Director of Planning first considers the intent of this schedule and all applicable Council policies and guidelines.

4.1.3 Despite section 4.1.1 and 4.1.2, the Director of Planning may increase the permitted floor space ratio in the RR-2C district for social housing to:

- (a) a maximum of 2.7; or
- (b) a maximum of 3.0, if:
 - (i) is a corner site, and:
 - A. adjoins a lane at the rear,
 - B. has a minimum site frontage of 40.2 m, and
 - C. has a minimum site area of 1,470 m²;

and if the Director of Planning first considers the intent of this schedule and all applicable Council policies and guidelines.

4.2 Site Area, Site Frontage, Site Depth and Building Height

Regulation		RR-2A district	RR-2B district	RR-2C district
4.2.1	Minimum Site Area	613 m ²	613 m ²	920 m ²
4.2.2	Minimum Site Frontage	20.1 m	20.1 m	30.1 m
4.2.3	Maximum Site Frontage for all sites other than a corner site	30.5 m	n/a	n/a

4.2.4	Maximum Site Frontage for a corner site	45.7 m	n/a	n/a
4.2.5	Minimum Site Depth for an apartment building	30.5 m	30.5 m	30.5 m
4.2.6	Minimum Site Depth for an apartment in combination with townhouse building	41.1 m	41.1 m	41.1 m
4.2.7	Maximum Building Height for an apartment building	13.7 m; and 4 storeys	16.8 m; and 5 storeys	19.8 m; and 6 storeys
4.2.8	Maximum Building Height for a townhouse building	10.7 m; and 3 storeys	10.7 m; and 3 storeys	10.7 m; and 3 storeys

4.2.9 If the Director of Planning first considers the intent of this schedule and all applicable Council policies and guidelines, the Director of Planning may vary the:

- (a) minimum site area;
- (b) minimum and maximum site frontage;
- (c) minimum site depth; and
- (d) maximum building height.

4.3 Building Height

4.3.1 The maximum building height excludes:

- (a) stairways and elevator shafts to roof decks, and guardrails; and
- (b) common amenity rooms on roof decks, if the total floor area does not exceed 10% of the roof area.

4.3.2 For the purposes of this schedule, “Partial storey” means the uppermost level of a building where the floor area is limited to the specified proportion of the storey immediately below. The floor area can be existing, proposed or as may be extended over open-to-below space, and has a minimum ceiling height of 1.2 m.

4.3.3 Despite the maximum building height for townhouse in section 4.2.8 of this schedule, the 3rd storey of a townhouse building must be a partial storey not exceeding 60% of the storey immediately below.

4.4 Front Yard

4.4.1 The front yard must have a minimum depth of 3.7 m.

4.4.2 Despite section 4.4.1 above, entries, porches and verandahs complying with section 4.7.2(h) of this schedule may project up to 1.8 m into the required front yard.

4.4.3 Despite section 10.32.1(b) of this by-law, eaves and gutters, or other projections that the Director of Planning considers similar to the foregoing, may project into the minimum front yard to a maximum of 1.0 m measured horizontally.

4.4.4 The Director of Planning may decrease the minimum front yard requirement if the Director of Planning first considers the intent of this schedule and all applicable Council policies and guidelines.

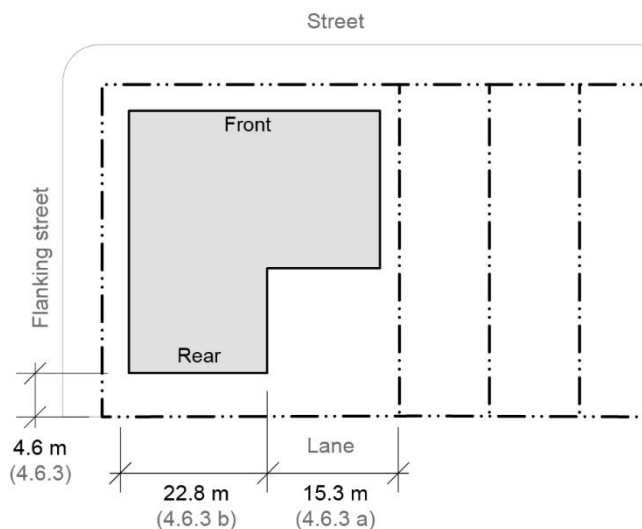
4.5 Side Yards

- 4.5.1 The side yards must have a minimum width of 1.8 m in the RR-2A district, and 2.4 m in the RR-2B and RR-2C districts.
- 4.5.2 Despite section 10.32.1(b) of this by-law, eaves and gutters, or other projections that the Director of Planning consider similar to the foregoing, may project into the minimum side yard to a maximum of 1.0 m measured horizontally.
- 4.5.3 The Director of Planning may decrease the minimum side yard requirement if the Director of Planning first considers the intent of this schedule and all applicable Council policies and guidelines.
- 4.5.4 Despite sections 4.5.1, 4.5.2 and 4.5.3 above, on a corner site, the front yard regulations in section 4.4 of this schedule apply to the exterior side yard.

4.6 Rear Yard

- 4.6.1 For apartment, the rear yard must have a minimum depth of 7.6 m, measured from the ultimate rear property line.
- 4.6.2 For apartment in combination with a townhouse, the rear yard must have a minimum depth of 3.1 m, measured from the ultimate rear property line.
- 4.6.3 Despite section 4.6.1 above, in the case of a corner site, the minimum depth of the rear yard may be decreased to 4.6 m, if the portion of the building for which the rear yard is decreased:
 - (a) is located a minimum distance of 15.3 m from an adjoining site with or without the intervention of a lane, measured from the side property line; and
 - (b) does not exceed 22.8 m in width.

Diagram: Decreased minimum rear yard depth for a corner site.



- 4.6.4 Despite sections 4.6.1 and 4.6.2 above, entries, porches and verandahs complying with section 4.7.2(h) of this schedule may project up to 1.8 m into the required rear yard.

- 4.6.5 Despite section 10.32.1(b) of this by-law, eaves and gutters, or other projections that the Director of Planning considers similar to the foregoing, may project into the minimum rear yard to a maximum of 1.0 m measured horizontally.
- 4.6.6 The Director of Planning may decrease the minimum rear yard requirement if the Director of Planning first considers the intent of this schedule and all applicable Council policies and guidelines.

4.7 Computation of Floor Area

4.7.1 Computation of floor area must include:

- (a) all floors, including earthen floor, to be measured to the extreme outer limits of the building including accessory buildings; and
- (b) stairways, fire escapes, elevator shafts, and other features that the Director of Planning considers similar to the foregoing, measured by their gross cross-sectional areas and included in the measurements for each floor at which they are located.

4.7.2 Computation of floor area must exclude:

- (a) balconies, decks, exterior passageways for townhouse access, and any other appurtenances that the Director of Planning considers similar to the foregoing, if the total area of all exclusions does not exceed 12% of the permitted floor area;
- (b) patios and roof decks, if the Director of Planning first considers the impact on privacy and overlook;
- (c) off-street parking and loading located at or below base surface, if the maximum exclusion for a parking space does not exceed 7.3 m in length;
- (d) bicycle storage located in a principal building or an accessory building;
- (e) heating and mechanical equipment, or uses that the Director of Planning considers similar to the foregoing;
- (f) areas of undeveloped floors which are located:
 - (i) above the highest storey or partial storey and to which there is no permanent means of access other than a hatch, or
 - (ii) adjacent to a storey or partial storey with a ceiling height of less than 1.2 m;
- (g) floors located at or below finished grade with a ceiling height of less than 1.2 m;
- (h) entries, porches and verandahs if:
 - (i) the portion facing the street, rear property line or courtyard is open or protected by guards that do not exceed the required minimum height,
 - (ii) the total excluded area, combined with the exclusions permitted in section 4.7.2(a) above, does not exceed 16% of the permitted floor area, and
 - (iii) the ceiling height, excluding roof structures, of the total area being excluded does not exceed 3.1 m measured from the entry, porch or verandah floor;
- (i) all residential storage area above or below base surface, except that if residential storage area above base surface exceeds 3.7 m² per dwelling unit, there will be no exclusion for any of the residential storage area above surface for that unit; and

- (j) amenity areas, including recreation facilities and meeting rooms, accessory to a residential use, to a maximum total area of 10% of the total permitted floor area.

4.8 - 4.9 [Reserved]

4.10 Horizontal Angle of Daylight

- 4.10.1 Each habitable room must have at least one window on an exterior wall of a building.
- 4.10.2 For the purposes of section 4.10.1 above, habitable room means any room except:
 - (a) a bathroom; or
 - (b) a kitchen whose floor area is the lesser of:
 - (i) 10% or less of the total floor area of the dwelling unit, or
 - (ii) 9.3 m².
- 4.10.3 Each exterior window must be located so that a plane or planes extending from the window and formed by an angle of 50 degrees, or two angles with a sum of 70 degrees, will encounter no obstruction over a distance of 24.0 m.
- 4.10.4 The plane or planes referred to in section 4.10.3 above must be measured horizontally from the centre of the bottom of each window.
- 4.10.5 An obstruction referred to in section 4.10.3 above means:
 - (a) any part of the same building except those in compliance with section 10.7.1 of this by-law; or
 - (b) the largest building permitted on any adjoining site.
- 4.10.6 The Director of Planning may vary the horizontal angle of daylight requirement, if:
 - (a) the Director of Planning first considers all the applicable Council policies and guidelines; and
 - (b) the minimum distance of unobstructed view is no less than 2.4 m.

4.11 - 4.15 [Reserved]

4.16 Building Depth and Width

- 4.16.1 For the purposes of this schedule, "building depth" means the distance from the front exterior wall measured in a straight line to a point directly opposite on the rear exterior wall, except that balconies and entries, porches and verandahs that comply with section 4.4.2 and 4.6.4 of this schedule may be excluded from the measurement of building depth.
- 4.16.2 For apartment, the maximum building depth must not exceed 22.8 m.
- 4.16.3 The maximum building width of any building must not exceed 45.7 m.
- 4.16.4 The Director of Planning may increase the maximum building depth and width requirements if the Director of Planning first considers the intent of this schedule and all applicable Council policies and guidelines.

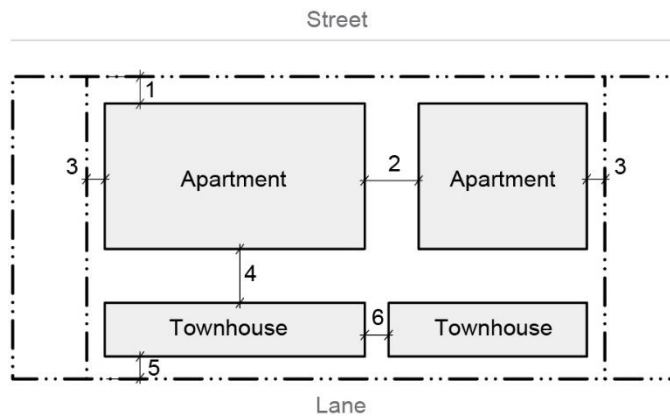
4.17 External Design

- 4.17.1 No portion of underground parking is permitted to project into any required yard except for an access ramp.

- 4.17.2 Where apartment in combination with a townhouse is permitted, the minimum separation between:
- (a) apartment and townhouse buildings must be 7.3 m; and
 - (b) townhouse buildings must be 3.1 m,
- measured from the closest portion of the exterior walls of the buildings.

- 4.17.3 Where more than one apartment building is located on a site frontage, the minimum separation between the buildings must be 7.3 m, measured from the closest portion of the exterior side wall of any other apartment on the site.

Diagram: Building placement – courtyard configuration.



1. 3.7m (4.4.1) 2. 7.3m (4.17.3) 3. 2.4m (4.5.1)
 4. 7.3m (4.17.2 a) 5. 3.0m (4.6.2) 6. 3.0m (4.17.2b)

- 4.17.4 For apartment in the RR-2C district, all exterior walls of the 6th storey must be set back a minimum of 2.4 m from the exterior face of the wall of the storey below, except for social housing.
- 4.17.5 The following features are permitted in the courtyard:
- (a) the features permitted in section 10.32 of this by-law; and
 - (b) entries, porches and verandahs complying with section 4.7.2(h) of this schedule.
- 4.17.6 The maximum floor-to-floor height is 3.1 m.
- 4.17.7 The minimum width of a dwelling unit in a townhouse is 4.2 m measured between finished wall surfaces.
- 4.17.8 The Director of Planning may vary the requirements of this section 4.17 if the Director of Planning first considers the intent of this schedule and all applicable Council policies and guidelines.

4.18 [Reserved]

4.19 Number of Buildings on a Site

- 4.19.1 The Director of Planning may permit more than one principal building on a site if the Director of Planning first considers the intent of this schedule and all applicable Council policies and guidelines.